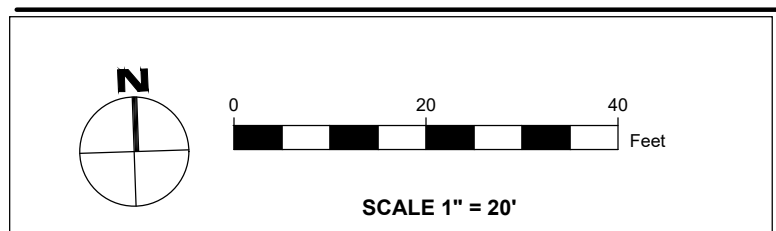


- PAVING LEGEND**
- HEAVY DUTY PAVEMENT SECTION:**  
DETAIL 3A, SHEET C03.3
- LIGHT DUTY PAVEMENT SECTION:**  
DETAILS 3B, SHEET C03.3
- CONCRETE SECTIONS:**  
SIDEWALK:  
DETAIL 3C, SHEET C03.3  
DRIVE-THRU:  
DETAIL 1, TYPE A, SHEET C03.3  
PARKING:  
DETAIL 1, TYPE B, SHEET C03.3  
DUMPSTER APPROACH PAD:  
DETAIL 3C, SHEET C03.3

- BUILDING AREA NOTES**
1. MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION; i.e. IN TIMES OF RAIN OR MUD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC. WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 1141 3-1).
  2. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
  3. SEE SHEET C01.1 FOR GENERAL NOTES.

- SITE NOTES**
1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. ON SITE BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN INERT BURY PITS ON THE SITE AND NONE WILL BE ALLOWED DURING CONSTRUCTION OF THE PROJECT.
  2. ALL WORK SHALL COMPLY WITH PASCO COUNTY, STATE OF FLORIDA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
  3. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
  4. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
  5. ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
  6. BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "STATE OF FLORIDA" TRANSPORTATION STANDARD SPECIFICATIONS", CURRENT EDITION.
  7. ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  8. PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.
  9. ALL PARKING SPACES, PAVEMENT ARROWS, STOP BARS, AND SIGNS SHALL MATCH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FDOT INDICES 700 AND 711.
  10. SEE SHEET C01.1 FOR GENERAL NOTES.
  11. ANY LIGHTING USED TO ILLUMINATE ANY PARKING AREA SHALL BE SO ARRANGED AS TO DIRECT AND/OR SHIELD LIGHT AWAY FROM ADJOINING RESIDENT PREMISES AND RIGHT-OF-WAY.

**24-HOUR CONTACT:**  
**JOE CELENTO**  
**(912) 272-4811**



SITE INFORMATION	
JURISDICTION:	PASCO COUNTY
ZONING:	MASTER PLANNED UNIT DEVELOPMENT (MPUD)
FUTURE LAND USE:	PLANNED DEVELOPMENT (PD)
PARCEL NUMBER:	29 26 18 0000 00400 0070 (BASED ON PASCO MAPPER)
REQUIRED BUILDING SETBACKS:	FRONT: 60' SIDE: 7.5' SIDE: 7.5' REAR: 5'
REQUIRED PARKING:	19 SPACES - ONE (1) SPACE FOR EVERY 150 SF OF GROSS FLOOR AREA, ASSUMING A 2,381 SF BUILDING AND A 400 SF OUTDOOR DINING SPACE IS PROVIDED, THE MINIMUM PARKING REQUIRED IS 19 SPACES.
PROPOSED PARKING :	9' X 20' (REGULAR) = 27 8x16' (COMPACT) = 10 12' X 20' (HC) = 2 TOTAL = 39
PROVIDED LANDSCAPE BUFFER:	FRONT: 20' TYPE D BUFFER (NORTH) REAR: 10' TYPE A BUFFER (SOUTH) SIDE: 5' TYPE A BUFFER (EAST AND WEST)
DRIVE AISLE: 24'	
SITE AREA CALCULATIONS:	SITE: ±1.00 AC. PERVIOUS AREA: ±2.27 AC. IMPERVIOUS AREA: ±7.73 AC. DISTURBED AREA: ±1.20 AC.
FLOOD HAZARD:	A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. MAP NO. 12101C0384F, DATED 09/26/2014. HOWEVER, PLANS PROVIDED BY BOHLER ENGINEERING SHOW THAT ALL WETLANDS AND FLOODPLAINS WILL BE FILLED IN. PLEASE SEE PLANS PROVIDED BY BOHLER ENGINEERING AND APPROVED BY COUNTY ON 05/08/2020.
EXISTING INFORMATION:	ALL EXISTING INFORMATION SHOWN HEREIN IS BASED OFF OF DESIGN FILES PROVIDED BY BOHLER ENGINEERING, DATED 11/18/2020. ALL ELEVATIONS SHOWN HEREON ARE BASED OFF OF THE ABOVE REFERENCED DESIGN FILES, WHICH ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK D689, SAID POINT BEING A SURVEY DISC STAMPED "D689 2008" SET IN TOP OF A CONCRETE MONUMENT AND HAVING AN ELEVATION OF 80.39 FEET, PURSUANT TO THE NAVD88.
SITE LIGHTING:	PHOTOMETRICS DESIGNED BY VILLA LIGHTING. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN, SHEETS SL1.0, AND OWNER PRIOR TO CONSTRUCTION.
FLOOR AREA RATIO CALCULATION:	TOTAL BUILDING AREA = 2,381 SF = 0.055 AC. DEVELOPABLE ACREAGE = 1.00 AC. (1.00 LOT AREA - 0.00 WETLANDS) FLOOR AREA RATIO = 0.055.

**CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.**

**CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.**

**CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.**

**CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.**

**CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTER AREAS AROUND BUILDING AND PATIO.**



**PANDA EXPRESS, INC.**  
1683 WALNUT GROVE AVE.  
ROSEMead, CALIFORNIA 91770  
TELEPHONE: 626.799.9898  
FACSIMILE: 626.372.8288

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REVISIONS:		
C1	1ST COUNTY COMMENTS	04/05/2021
C2	2ND COUNTY COMMENTS	06/04/2021

ISSUE DATE:		
ALT. STANDARDS	12/17/2020	
PRELIMINARY SITE PLAN	01/12/2021	
COUNTY COMMENTS	04/05/2021	
ISSUE FOR BID	06/04/2021	

DRAWN BY: INGENIUM

PANDA PROJECT #: D8135  
PANDA STORE #:  
ARCH PROJECT #:



SITE PLAN

C03.0