

56 PM 71

OWNER'S STATEMENT:

I, THE UNDERSIGNED OWNER, HEREBY CERTIFY THAT I AM THE OWNER OF, OR HAVE SOME RIGHT, TITLE OR INTEREST OF RECORD IN THE LAND SHOWN ON THIS PARCEL MAP, AND WE CONSENT TO THE MAKING AND FILING OF THIS MAP IN THE OFFICE OF THE COUNTY RECORDER.
I HEREBY OFFER FOR DEDICATION TO THE PUBLIC, FOR PUBLIC USE, THE 30.00 FOOT WIDE RIGHT OF WAY FOR GRIMES AVENUE AND THE 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT ADJACENT TO PARCELS "1", "2" AND "3", BOTH AS SHOWN ON THIS MAP.

OWNER: CHRIS FLOYD ZAIGER, AS TRUSTEE OF THE
BETTY JEAN ZAIGER AND CHRIS FLOYD ZAIGER
1996 REVOCABLE TRUST, U/I/D MAY 1, 1996

DATED THIS 8TH DAY OF DECEMBER 2011.

Chris Floyd Zaiger
CHRIS FLOYD ZAIGER, TRUSTEE

ACKNOWLEDGMENT:

STATE OF CALIFORNIA:
COUNTY OF STANISLAUS:

ON 12-8-11 BEFORE ME, THERESE LAZAR, A NOTARY
PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED,
CHRIS FLOYD ZAIGER

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO
BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE
WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY
EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES),
AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT
THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE
PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE
OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND.

THERESE LAZAR, NOTARY PUBLIC

PRINT NAME: THERESE LAZAR

COMMISSION NUMBER: 1801979

COMMISSION EXPIRES: JUNE 17, 2012

PRINCIPAL OFFICE LOCATION (COUNTY): STANISLAUS

OMITTED SIGNATURES:

PURSUANT TO SECTION 66436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES
OF THE FOLLOWING EASEMENT HOLDER'S OF RECORD HAVE BEEN OMITTED:

PUBLIC ROAD EASEMENT RESERVED BY L.J. MADDUX, ET UX, RECORDED
JUNE 2, 1917, IN BOOK 247 OF DEEDS, PAGE 58, S.C.R. (AFFECTS AREA
NOW UNDERLYING GRIMES AVENUE).

DITCH RIGHT OF WAY AGREEMENT, EXECUTED BY WILLIAM YOUNG, ET AL,
RECORDED SEPT. 23, 1920, IN VOLUME 27 OF MISCELLANEOUS RECORDS, PAGE 24.

CLERK OF THE BOARD OF SUPERVISOR'S CERTIFICATE:

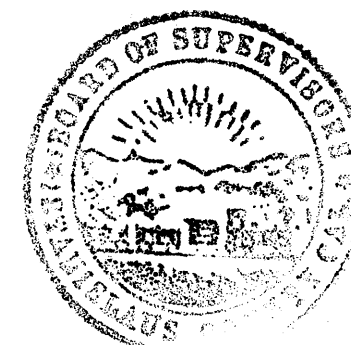
THIS IS TO CERTIFY THAT THE OWNERS OF THE PROPERTY SHOWN ON THE
ACCOMPANYING MAP HAVE FILED WITH THE BOARD OF SUPERVISORS: (CHECK ONE)

- ☐ A. A BOND OR DEPOSIT APPROVED BY SAID BOARD TO SECURE THE PAYMENT
OF TAXES AND SPECIAL ASSESSMENTS COLLECTED AS TAXES, WHICH ARE AT
THE TIME OF FILING THIS MAP, A LIEN AGAINST SAID PROPERTY OR
ANY PART THEREOF.
☒ B. RECEIPTED TAX BILL OR BILLS OR SUCH OTHER EVIDENCE AS MAY BE
REQUIRED BY SAID BOARD SHOWING FULL PAYMENT OF ALL APPLICABLE TAXES.

DATED THIS 14th DAY OF December 2011.

CHRISTINE FERRARO TALLMAN
CLERK OF THE BOARD OF SUPERVISORS.

BY: Ram Villarreal, DEPUTY
Ram Villarreal
PRINT NAME



TAX COLLECTOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THERE ARE NO LIENS FOR ANY UNPAID STATE, COUNTY,
SCHOOLS, MUNICIPAL, OR SPECIAL ASSESSMENTS, EXCEPT SPECIAL ASSESSMENTS
OR TAXES NOT YET PAYABLE AGAINST THE LAND SHOWN ON THIS MAP.

ASSESSOR'S PARCEL NO. 007-046-001

DATED THIS 14th DAY OF December 2011.

GORDON B. FORD
COUNTY TAX COLLECTOR.

BY: Jegan L. Raja, DEPUTY
JEGAN L. RAJA
PRINT NAME

PARCEL MAP

BEING A DIVISION OF A PORTION OF
THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 3 SOUTH, RANGE 8 EAST,
MOUNT DIABLO MERIDIAN
STANISLAUS COUNTY, CALIFORNIA



ASSOCIATED
ENGINEERING GROUP, INC.
4206 TECHNOLOGY DRIVE • MODESTO, CALIFORNIA 95356
PH: (209) 545-3390 • FAX: (209) 545-3875

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A
FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP
ACT AND LOCAL ORDINANCE AT THE REQUEST OF LEITH GARDNER ON JULY 22, 2011.
I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE
APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. ALL MONUMENTS
ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE
SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED.

DATED THIS 5th DAY OF December 2011.

Dave L. Skidmore
DAVE L. SKIDMORE, L.S. 7126



COUNTY SURVEYOR'S STATEMENT:

THIS IS TO CERTIFY THAT THE ACCOMPANYING MAP HAS BEEN EXAMINED AND
THAT IT SUBSTANTIALLY CONFORMS TO THE TENTATIVE MAP AND ANY APPROVED
ALTERATIONS THEREOF. ALSO, CHAPTER 2, AND TITLE 20, OF THE STANISLAUS
COUNTY SUBDIVISION CODE HAVE BEEN COMPLIED WITH AND THE MAP IS
TECHNICALLY CORRECT.

I HEREBY ACCEPT ON BEHALF OF THE PUBLIC FOR PUBLIC USE, THE OFFER OF
DEDICATION OF THE 30 FOOT WIDE RIGHT OF WAY FOR GRIMES AVENUE
AND THE 10 FOOT WIDE PUBLIC UTILITY EASEMENT, BOTH AS SHOWN
ON THIS MAP.

DATED THIS 13th DAY OF December 2011.

WAYNE G. SUTTON
COUNTY SURVEYOR

Wayne G. Sutton
L.S. 3863



RECORDER'S CERTIFICATE:

FILED THIS 19th DAY OF December, 2011, AT 11:09:33 O'CLOCK A.M.

IN BOOK 56 OF PARCEL MAPS, AT PAGE 71, STANISLAUS COUNTY
RECORDS, AT THE REQUEST OF ASSOCIATED ENGINEERING GROUP, INC.

INSTRUMENT NO. 2011-0103607-00

FEE \$12.00 PAID

LEE LUNDRIAN
CLERK RECORDER

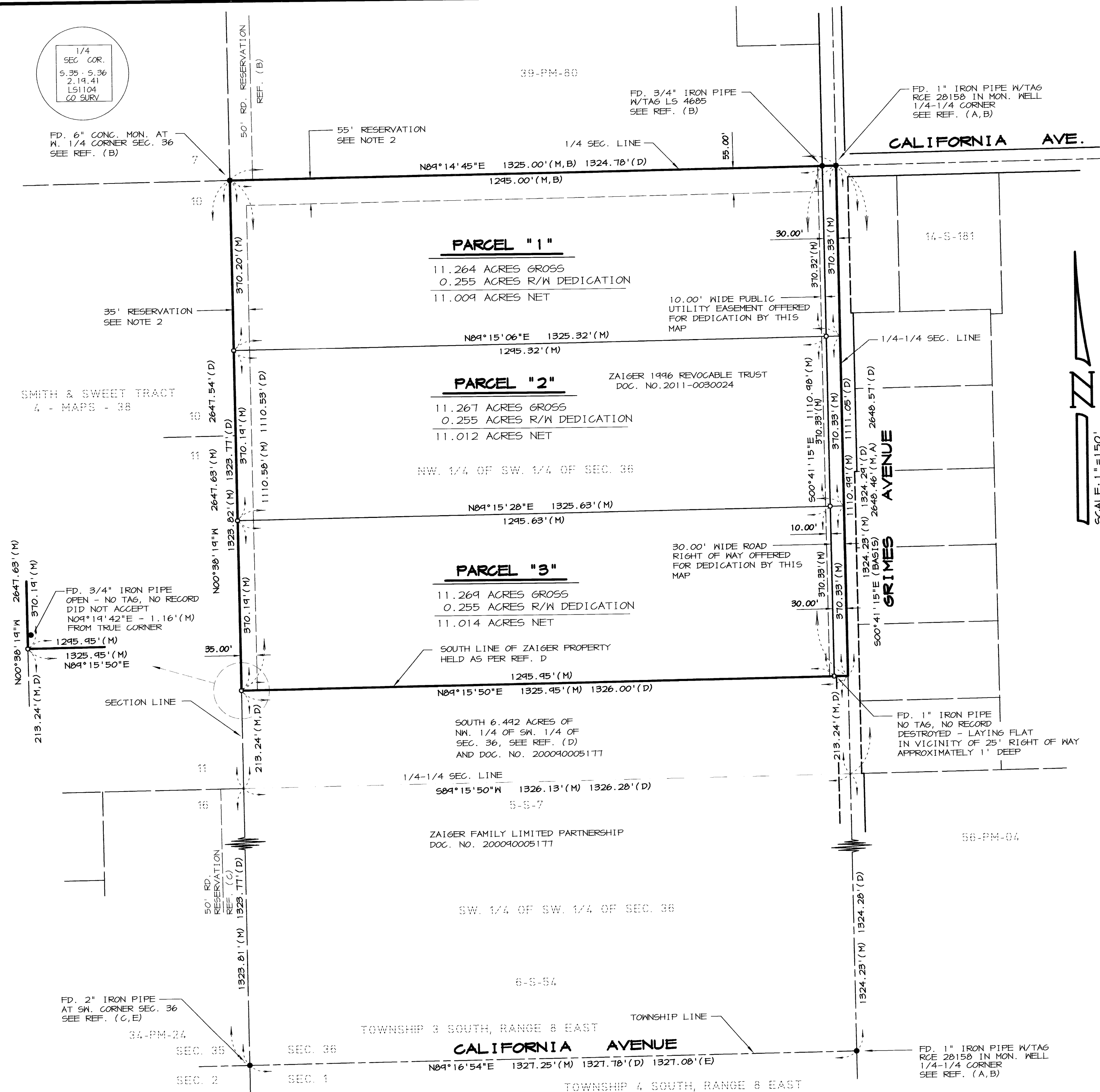
BY: Manjit Kahlon, DEPUTY
Manjit Kahlon
PRINT NAME

STANISLAUS COUNTY PM APP. NO. 2010-06
ASSOCIATED ENGINEERING JOB NO. 792-10

SHEET 1 OF 2

56 PM 71

56 pm 7



SURVEY REFERENCES:

- (A) REFERS TO BOOK 56 OF PARCEL MAPS AT PAGE 04, S.C.R.
(B) REFERS TO BOOK 39 OF PARCEL MAPS AT PAGE 80, S.C.R.
(C) REFERS TO BOOK 34 OF PARCEL MAPS AT PAGE 24, S.C.R.
(D) REFERS TO VOLUME 5 OF SURVEYS AT PAGE 07, S.C.R.
(E) REFERS TO VOLUME 6 OF SURVEYS AT PAGE 54, S.C.R.

LEGEND

- FOUND MONUMENT AS NOTED
 - o SET 3/4" ϕ x 24" LONG IRON PIPE W/PLASTIC CAP STAMPED L.S. 7126
- (M) MEASURED ON THIS SURVEY, NOTE ALL DISTANCES ARE MEASURED UNLESS OTHERWISE NOTED
- PM PARCEL MAP
- R/W RIGHT OF WAY
- REF. REFERENCE
- S RECORD OF SURVEY
- S.C.R. STANISLAUS COUNTY RECORDS
- SEC. SECTION
- SFN SEARCHED, FOUND NOTHING

BASIS OF BEARINGS:

THE BEARING OF SOUTH 00°41'15" EAST FOR THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 36, T. 3 S., R. 8 E., M.D.M. (ALSO BEING THE CENTER LINE OF GRIMES AVENUE) AS SHOWN ON THAT MAP FILED IN VOLUME 56 OF PARCEL MAPS AT PAGE 04, S.C.R. WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

NOTES

- 1.) ALL PERSONS PURCHASING LOTS WITHIN THE BOUNDARIES OF THIS APPROVED MAP SHOULD BE PREPARED TO ACCEPT THE INCONVENIENCES ASSOCIATED WITH THE AGRICULTURAL OPERATIONS, SUCH AS NOISE, ODORS, FLIES, DUST OR FUMES. STANISLAUS COUNTY HAS DETERMINED THAT SUCH INCONVENIENCES SHALL NOT BE CONSIDERED TO BE A NUISANCE IF AGRICULTURAL OPERATIONS ARE CONSISTENT WITH ACCEPTED CUSTOMS AND STANDARDS.
- 2.) THE ROAD RESERVATION SHOWN ON THIS MAP FOR THE FUTURE EXTENSION OF CALIFORNIA AVENUE AND NEBRASKA AVENUE IS SHOWN FOR THE SOLE PURPOSE OF EXCLUDING ANY FUTURE CONSTRUCTION OR ANY BUILDING AND/OR IMPROVEMENTS. THESE RESERVATIONS DO NOT CONVEY ANY EASEMENT OF IMPLIED FEE TITLE TO SAID ROAD RESERVATIONS FOR THE BENEFIT OF THE COUNTY OF STANISLAUS. ANY FUTURE BUILDING PERMITS SHALL CONFORM TO ALL SETBACKS AS SPECIFIED IN THE ADOPTED STANISLAUS COUNTY ZONING ORDINANCE WITH REGARD TO SAID RESERVATIONS. THE LANDOWNER SHALL BE ALLOWED TO REPLACE EXISTING TREES WITHIN SAID RESERVATIONS.
- 3.) AS PER STANISLAUS COUNTY CODE 16.10.020 AND 16.10.040, ALL PERSONS PURCHASING LOTS WITHIN THE BOUNDARIES OF THIS APPROVED MAP SHOULD BE PREPARED TO ACCEPT THE RESPONSIBILITIES AND COSTS ASSOCIATED WITH THE OPERATION AND MAINTENANCE OF THE REQUIRED PRIMARY AND SECONDARY ONSITE WASTEWATER TREATMENT SYSTEM. ALL PERSONS ARE REQUIRED TO PROVIDE ADEQUATE MAINTENANCE AND OPERATE THE ONSITE WASTEWATER TREATMENT SYSTEM AS PRESCRIBED BY THE MANUFACTURER, SO AS TO PREVENT GROUNDWATER DEGRADATION.
- 4.) THIS SURVEY HOLDS THE SOUTH LINE OF THE ZAIGER 1996 REVOCABLE TRUST PARCEL AS MEASURED BY W. BROOKE IN MAR. 1950 AND DEPICTED IN REF. (D). THE OVERALL ACREAGE AS MEASURED ON THIS SURVEY MATCHES THAT OF THE BROOKE SURVEY AND AS DEPICTED ON THE CURRENT ASSESSORS PLAT.

PARCEL MAP

BEING A DIVISION OF A PORTION OF
THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 3 SOUTH, RANGE 8 EAST,
MOUNT DIABLO MERIDIAN
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SHEET 2 OF 2

56 pm7